



LEVEL 2

Your survey report

Property address

Client's name

Joe Bloggs

Inspection Date

8th December 2022

Surveyor's RICS number

0000000

2

Contents

A	About the inspection and report
B	Overall opinion
C	About the property
D	Outside the property
E	Inside the property
F	Services
G	Grounds
H	Issues for your legal advisers
I	Risks
J	Surveyor's declaration
K	What to do now
L	Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement
M	Typical house diagram
	RICS disclaimer

A

About the inspection and report

This RICS Home Survey – Level 2 has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

A

About the inspection and report

As agreed, this report will contain the following:

- a physical inspection of the property (see 'The inspection' in section L) and
- a report based on the inspection (see 'The report' in section L).

About the report

We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property
- take into account any significant repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

About the inspection

- We only carry out a visual inspection.
- We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We do not remove the contents of cupboards. We are not able to assess the condition of the inside of any chimney, boiler or other flues. Also, we do not remove secured panels or undo electrical fittings.
- We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.
- We do not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings, but we do not force or open up the fabric of the building. We also inspect the parts of the electricity, gas/oil, water, heating and drainage services that can be seen, but we do not test them.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then briefly outline the condition of the other parts. The condition ratings are described in section B of this report. The report covers matters that, in the surveyor's opinion, need to be dealt with or may affect the value of the property.

 **Reminder**

Please refer to your **Terms and Conditions** report sent on the 1st December 2022 for a full list of exclusions.

A

About the inspection

Surveyor's name

Aziz Rahman MRICS, MCInstCES

Surveyor's RICS number

0000000

Company name

Surveying People

Date of the inspection

8th December 2022

Report reference number**Related party disclosure**

I can confirm that there is no conflict of interest in relation to the report.

Full address and postcode of the property**Weather conditions when the inspection took place**

Sunny with clear skies.

Status of the property when the inspection took place

Furnished and occupied. The current leaseholder was present at the time of survey.

B

Overall opinion

This section provides our overall opinion of the property, highlights any areas of concern and summarises the condition ratings of the different elements of the property. Individual elements of the property have been rated to indicate any defects, and have been grouped by the urgency of any required maintenance.

If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section K, 'What to do now', and discuss this with us if required.

B

Condition ratings

Overall opinion of the property

This property is considered to be a reasonable proposition for purchase, provided that you are prepared to accept the cost and inconvenience of dealing with the various repair/improvement works reported. These deficiencies are common in properties of this age and type. Provided that the necessary works are carried out to a satisfactory standard, I see no reason why there should be any special difficulty on resale in normal market conditions.

It is very important that you read this report as a whole. In the main body of the report, I have given elements a Condition Rating of 2 or 3, I particularly refer you to the section at the end of the report entitled 'what to do now'. You must make sure that you have all of the repairs needed investigated by reputable contractors so that you are fully aware of their scope and financial implications before you purchase.

This report should be construed as a comment upon the overall condition of the property and is not an inventory of every single defect. The report is based on the condition of the property at the time of my inspection and no liability can be accepted for any deterioration in its condition after that date.

B

Condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.



Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name
E3	Walls and partitions
F1	Electricity
F2	Gas/oil
F4	Heating



Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name
D4	Main walls
D5	Windows



Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element no.	Element name
D1	Chimney stacks
D2	Roof coverings
D3	Rainwater pipes and gutters

Element no.	Element name
D6	Outside doors (including patio doors)
D8	Other joinery and finishes
E2	Ceilings
E4	Floors
E5	Fireplaces, chimney breast and flues
E6	Built-in fittings (built-in kitchen and other fittings, not including appliances)
E7	Woodwork (for example, staircase and joinery)
E8	Bathroom fittings
F3	Water
F5	Water heating
F6	Drainage
G2	Permanent outbuildings and other structures
G3	Other



Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element no.	Element name
D7	Conservatory and porches
D9	Other
E1	Roof structure
E9	Other
F7	Common services
G1	Garage

C

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities

About the property

Type of property

To avoid confusion all further reference throughout this report to left- or right-hand sides assumes the reader is standing facing the front elevation of the subject property.

The building is an end of terraced property converted into four self-contained flats over four floors. The surveyed property is a ground floor self-contained flat with a rear garden. The property consists of two bedrooms.

The front faces North-East.

Approximate year the property was built

circa 1890.

Approximate year the property was extended

The building has a double storey rear extension. The flat occupies the ground floor of the rear extension.

Please speak to your legal advisor in regards to the rear extension and it's building consent.

Approximate year the property was converted

The property has been converted into four separate flats; conversion year is not known. Please speak to your legal advisor in regards to the title deeds and planning consent.

Information relevant to flats and maisonettes

Access to the flat is by a entrance door to the left of the building on the ground floor.

There are no communal areas for flat 3B.

Speak to your legal adviser in regards to maintenance in other communal areas in the building.

Construction

The main walls are built of solid brick construction exposed at the front of the property and rendered to the rear.

The bricks are laid in a Flemish bond style consistent with this type of construction.

The property has a simple hip roof dormer covered in slate tile and a flat roof covered in felt rather than the traditional ridge.

The double storey rear extension is of cavity wall construction with a flat roof covered in felt.

The internal floors are mostly constructed of suspended timber except for the kitchen which has a solid floor.

Accommodation

	Living rooms	Bedrooms	Bath or shower	Separate toilet	Kitchen	Utility room	Conservatory	Other
Ground	1	2	1	0	1	0	0	

Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

Energy efficiency rating

The Energy Performance Certificate (EPC), which was not prepared by me, shows a current efficiency rating of 57, band D. The potential rating is given as 74, band C.

Issues relating to the energy efficiency rating

The energy performance certificate has made some recommendations and these include:

- Internal or external wall insulation
- low energy lighting
- heating controls (room thermostat)
- Floor insulation (suspended floor)
- Double glazed windows

Before commencing any work, you should ensure that all statutory permissions have been obtained for any changes you wish to make to your property.

Mains services

A marked box shows that the relevant mains service is present.

Gas Electric Water Drainage

Central heating

Gas Electric Solid fuel Oil None

Other services or energy sources (including feed-in tariffs)

N/A

Other energy matters

Underfloor heating powered by electricity in the bathroom and hallway.

C

Location and facilities

Grounds

There is no garage or off-street parking.

The property has a rear garden. The garden is accessed through a pathway to the left hand side and towards the rear. The patch of garden to the right hand side of the building belongs to another self-contained flat. There is no access or right of way to the garden to the right.

The ground is generally in good condition and it contains a mixture of grass and gravel.



Photo - 2



Photo - 3



Photo - 4

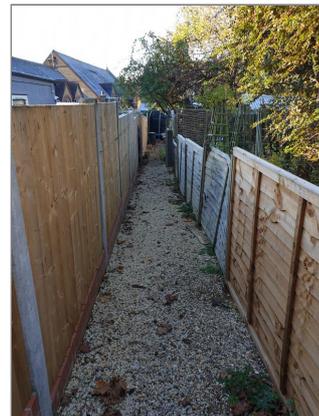


Photo - 5

Location

The property is in a residential urban area, surrounded by similar residential properties.

Facilities

Local amenities including public transport, shops and schools are within reasonable proximity of the subject property.

The property is in the Stroud Green conservation area designated by Haringay Council.



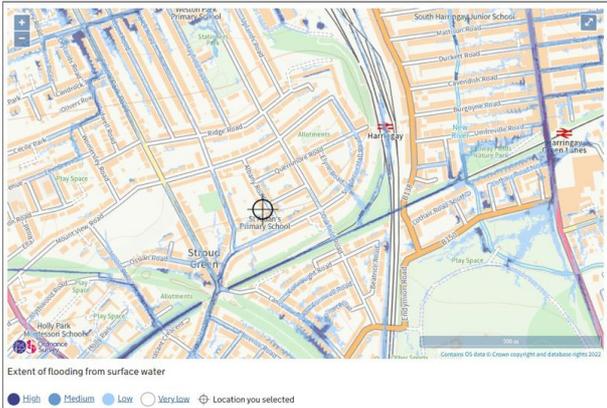
The map shows a residential area with a central green space. A red box highlights a specific location. A legend indicates 'Conservation areas' and 'Stroud Green'. A scale bar is visible in the bottom right corner.

Photo - 6

Local environment

The risk of flooding from surface water is classified as Very Low Risk.

I am not aware of any other issues in the local environment.



The map displays a residential area with various streets and landmarks. A legend at the bottom indicates the 'Extent of flooding from surface water' with categories: High (dark blue), Medium (medium blue), Low (light blue), and Very low (white). A red pin marks the 'Location you selected'. Landmarks include 'Stroud Green Primary School' and 'South Haringay Junior School'.

Photo - 7

D

Outside the property

D

Full detail of elements inspected

Limitations on the inspection

For the purpose of this report, only significant defects and deficiencies readily apparent from a visual inspection are reported. Services can only be fully assessed by a specialist contractor.

Building standards are continually being upgraded and older properties can become increasingly out of date due to the passage of time, leading to a requirement for improved efficiency. It is inevitable, therefore, that these homes will probably have higher running costs compared to newly built properties.

We have not exposed the foundations of the property and without doing so, you must accept the risk of unseen defects.

We have not carried out any geological survey or site investigation and cannot confirm the nature or characteristics of the soil with regards to fill or possible contamination.

Normal legal searches should confirm the past use of the site and if instructed, we will advise further. Our examination of the roof covering was confined to an inspection from ground level.

All accessible areas were inspected. No services were tested.



D1 Chimney stacks

There are two separate chimney stacks (one to the front and another to the rear). The chimney stacks are brick built and exposed with cement at the bottom, topped with open clay pots set in cement flashing's. The flashing at the base of the stacks at the junction with the roof slopes is of lead. **1**

No significant defects were noted and the chimney stack was found to be structurally stable.

The flashing at the top of the stacks look to be in satisfactory condition.

Condition rating 1. No repair is currently needed. The property must be maintained in the normal way.

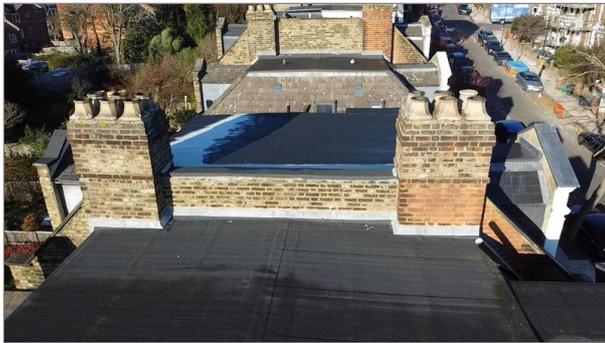


Photo - 8



Photo - 9



Photo - 10

D2 Roof Coverings

The property has a simple hip roof dormer covered in slate tile and a flat roof covered in felt rather than the traditional ridge.

1

The roof coverings appear to be generally fair for the age and type of the property. No significant sagging or deflection could be seen which might indicate that the structure is failing.

The mortar at the verges (side most run of tiles) is complete and intact with no evidence of any major weathering. You might want to consider verge guards to reduce maintenance and to help protect such edge detailing.

I have been advised by the current leaseholder that a new roof with coverings was installed in 2021. Please speak to your legal advisor in regards to the roof re-installment works.

The roof coverings on the rear double storey extension is a mono-pitched roof covered in felt.

Flat roofs covered in felt tend to create ponding. This is generally caused by deflection in the roof decking preventing surface water getting to the outlets, by blockage of the outlets or because outlets are fixed proud of the decking. Persistent ponding at the same place causes a gradual deterioration of the bitumen felt. Especially if it is old and based on organic fibres. Bad design can

contribute.

In this instance, the flat roof is in satisfactory condition. General maintenance is required.



Photo - 11



Photo - 12



Photo - 13

D3 Rainwater pipes and gutters

The rainwater gutters and downpipes are uPVC throughout the property.

1

Gully's for rainwater are provided around the property and these probably drain to ground soakaways. The gully's were clear at the time of the survey with no evidence of any flooding or other drainage problems. However, all gully's require regular clearing of any debris that will accumulate over relatively short periods of time.

The integral soil stacks is uPVC. The soil pipe is hidden within suspended floor enclosures and passes through the property at a gradient before connecting to the drainage system at ground floor level in the rear garden.

The gutters are of the half-round plastic variety and these discharge into rainwater pipes. We found the elements satisfactorily fixed. Gutters are laid to a reasonable fall and there is an adequate distribution of rainwater pipes.

These plastic elements are relatively maintenance free although replacement of the neoprene

seals to joints may be necessary due to thermal movements. Routine maintenance should also include checking for splits and leaking joints. Fading and discolouration of the plastic due to the effect of the sun can sometimes occur.

As it was not raining at the time of our inspection, we were not able to observe these elements in operation. There may be leaks, blockages or other defects currently undetected. Once you have taken occupation, we recommend that you observe the system during heavy rainfall to establish whether the gutters, pipes and drains are clear and free of leaks and that there are adequate falls. Any faults should be repaired as soon as possible.

The gutters are currently in a serviceable condition with no significant misalignment, although they would benefit from general cleansing to improve their appearance.



Photo - 14



Photo - 15



Photo - 16



Photo - 17

D4 Main walls

The main walls are built of solid brick construction exposed at the front of the property and rendered to the rear.

2

The double storey rear extension is of cavity wall construction covered in render and paint. Minor cracks observed above the kitchen door in the rear extension. The most probable cause may be weathering and bonding issues between the cavity wall and the render. Minor repair works recommended.

I was informed by the current leaseholder that external works to the building was carried out in 2021.

No evidence was seen of cracking, or other damage, which might indicate that the foundations are failing to provide adequate support for the property.

No evidence was seen of any major cracking which might indicate that the property is subject to subsidence, unusual settlement, or other exceptional movement of the ground.

The building generally does display good line and level.

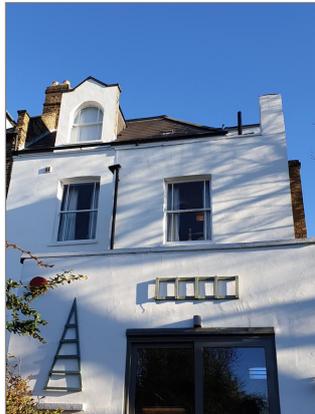


Photo - 18



Photo - 19



Photo - 20

D5 Windows

Single glaze sash windows with a timber frame at the front of the property in the reception room; double glazed windows of uPVC frames to the rear of the property.

2

The property is in a conservation area and the single glazed sash windows with timber frames need to be maintained. I would advise that a secondary glazing unit is installed. The secondary glazing increases the thermal efficiency of the existing single glazed windows, eliminating cold spots, draughts and helping retain heat.

Opening was attempted to selection of the windows and all checked for normal operation. The condensation levels in certain weather conditions can disguise evidence of blown double glazed units. In this instance, there was no evidence of blown double glazed units.

On further research, I was unable to find any documentation for the installation of the UPVC windows on FENSA on-line database. Please speak to your legal advisor in regards to the double glazing guarantee and in regard to the conservation area.

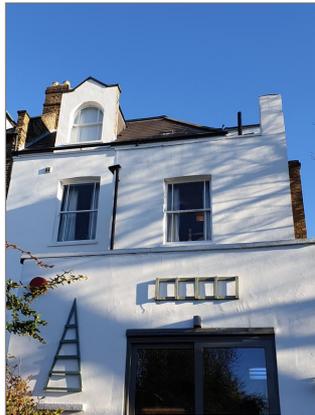


Photo - 21



Photo - 22



Photo - 23

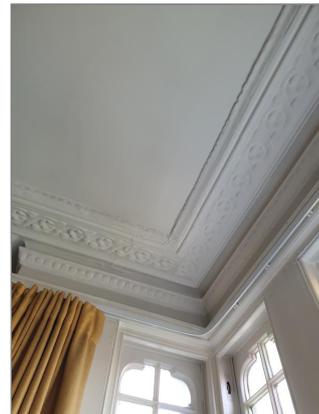


Photo - 24

D6 Outside doors (including patio doors)

The front door is of timber material fitted with multi-point locking systems.

The sliding door to the rear garden are double glazed aluminium doors with a multi-point locking system.

I carefully checked and tested the door and its night-latch and locking mechanism for normal operation and they were found to be fully functional.

1



Photo - 25



Photo - 26

D7 Conservatory and porches

N/A

NI

D8 Other joinery and finishes

Condition rating 1. No repair is currently needed. The property must be maintained in the normal way.

1

D9 Other

N/A

NI

E

Inside the property

Inside the property

Limitations on the inspection

Comment cannot be made on areas that are covered and concealed or not otherwise readily available. There may be detectable signs of concealed defects, in which case recommendations are made. If greater assurance is required on the matter, it would be necessary to carry out exposure works. Unless these are carried out prior to legal commitment to purchase, there is a risk that additional defects and consequently repair work will be discovered at a date.

It should be appreciated that original parts of the property are of period in nature. Accordingly such parts of the structure and fabric should not be expected as new and regard should be given to the natural deterioration of older products. It is possible that defects could occur between the date of survey and the date of which you take occupation.



E1 Roof structure

N/A - the property is a ground floor flat and there was no access to inspect the internal roof structure.

NI

E2 Ceilings

The ceiling material in the main property is made of the lath and plaster.

1

The ceiling in the rear extension is of modern plasterboard covered in emulsion paint.

Lath and plaster ceilings that have remained in place for many years may become unstable over the course of time as the plaster loses its key to the laths. Often it is difficult to identify such instability without performing destructive checks to assess the security of the surface of the ceiling.

Whilst it is not possible to carry out these checks during the course of a visual survey, it is recommended that you assess the stability of the ceilings by checking them for areas of loose surface plaster, or undue movement when pressed.

No significant issues were noted, other than that of a decorative nature, ceilings display good line and level. No undue levels of movement or detachment were observed during the survey.

Normal future maintenance is required, including filling and redecorating any cracks as necessary.

There are Victorian age plaster mouldings along the ceiling and at the centre of the front living room. Minor hairline cracks were noted on some of these borders however, this is expected for a property of this age. Ceiling cracks are common and usually not a significant concern. The older the home, the more likely for cracks to appear, often they are maintenance or cosmetic issue.

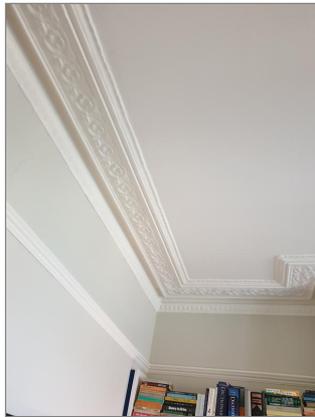


Photo - 27



Photo - 28



Photo - 29

E3 Walls and partitions

Internal walls within the main buildings are of lath and plaster, covered in emulsion paint.

Internal walls within the rear extension modern plasterboard covered in emulsion paint.

Severe cracks in the plaster was observed in the living room to the right hand side of the window. High moisture meter readings were observed on the wall in various locations. Upon further investigations, I identified a discontinued ivy plant on the external façade behind the down water pipes. Ivy plants are fairly intrusive and in this instance has caused penetrating damp into the living room walls. There was also water marks above the opening for the down water pipes suggesting that historical leaks or minor splash backs may have occurred; it is difficult to make this assumption as I could not identify an active water leak at the time of survey. I would recommend for the the ivy plants to be removed off the external walls; replastering and decorating recommended. There was no further high moisture readings on the remaining walls in the living room.

High moisture meter readings were observed in the kitchen above the stairs leading into the main hallway. There is evidence of condensation and minor grease on the walls. The most probable cause for this may be the air circulation in the kitchen being trapped in this location due to the kitchen door being closed. There may be a possibility that the cooker extraction fan may not be used when cooking in some instances.

3

No evidence was seen of any major cracking which might indicate that the property is subject to subsidence or unusual settlement.

Walls were tap tested to check for indications of hollowness or blown plaster and no such issues were evident.

Some general unevenness was noted. This is due to normal disturbance of the surface by decorations, minor repairs and fittings having been attached in the past.

Some minor hairline cracking of the internal walls can be noted in a variety of locations, primarily on the inside faces of external walls. It is common for cracking to occur as the materials of the building expand and contract during normal heating and cooling. Often this cracking is focused on the weakest areas of the walls which are the openings of, such as windows and doors. Commonly cracking is found around the top corners of windows and doors in the area where a supporting lintel is built into the structure. This occurs because the expansion rate of the lintel differs from that of the surrounding masonry.



Photo - 30



Photo - 31



Photo - 32

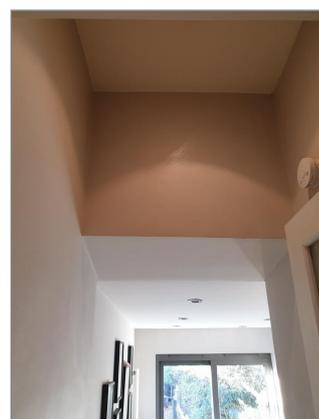


Photo - 33



Photo - 34



Photo - 35



Photo - 36

E4 Floors

The main property floors are of suspended timber construction. The floors along the passageways are covered in laminate flooring, the bathroom in floor tiles and the bedrooms and living room covered in carpet.

1

The rear extension is of solid floor construction and the kitchen is covered in tiles.

There is underfloor heating in the bathroom and passageway leading up to the kitchen.

Fixed floor coverings in most rooms prevented direct examination of the floor surfaces.

No significant defects were noted to the floors within the living accommodation, bearing in mind the limitations of our inspection.

Floors within the property generally display good line and level. None of the floors were found to be unusually noisy or springy when walked upon, suggesting that the underlying structures are not affected by significant timber defects. Minor uneven floors inspected throughout the property, however this is expected for a property of this age.



Photo - 37

E5 Fireplaces, chimney breasts and flues

The chimney breast is of masonry construction.

1

No significant defects were noted during my inspection and the chimney breast was found to be structurally sound.



Photo - 38



Photo - 39

E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

The kitchen fittings include wall and base units, drawers, sink and worktops.

1

The flow of water at the kitchen sink was found to be within a normal range and considered to be suitable for the intended use.

Hot water was obtained from the hot tap.

Please remember that mastic seals do have a tendency to deteriorate and shrink with age and should be periodically checked.

Please note; that water pressure can vary depending on how many valves are open at one time.

Drainage pipes beneath the sink were also carefully examined; no obvious signs of leakages or blockages were observed.



Photo - 40



Photo - 41



Photo - 42



Photo - 43

E7 Woodwork (for example, staircase joinery)

Internal doors appear to be of hollow panel fittings hung with two hinges. A sample of doors was tested and found to be generally operating satisfactorily at the time of inspection. Internal doors are only hung with two hinges, a third or middle hinge does help prevent doors from warping, something to consider if you decide to replace.

1

The architraves and skirting boards appear to be of painted softwood. The skirting, architraves and other internal joinery is quite a substantial section of softwood and was found to be in fair condition but, some decoration should be considered.

E8 Bathroom fittings

There is one bathroom inside the property.

1

The flow of water at all outlets checked was within a normal range and considered to be suitable for the intended use.

Hot water was obtained from all hot tap outlets.

All bathroom fittings to modern standards.

Mechanical ventilation system was operational at the time of survey. However, there are no windows in the bathroom.



Photo - 44

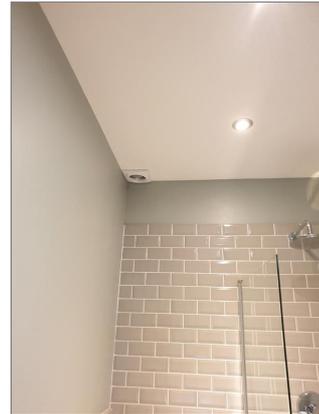


Photo - 45



Photo - 46

E9 Other

N/A

NI

F

Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

Services

Limitations on the inspection

No services were tested during this inspection. All services and associated fittings and constructions should be inspected and tested by the relevant contractor registered under a competent person scheme listed on the governments competent person scheme website. All accessible areas were inspected.



F1 Electricity

Safety warning: *The Electrical Safety Council recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact the Electrical Safety Council.*

It is not possible to fully assess the condition and safety of an electrical installation on the basis of a visual inspection only.

3

There is an mains electrical supply is located in a communal area through the main entrance door to the building. When entering through the entrance door, the mains supply is located in a cupboard to the right hand side. The consumer unit [fuse box] is located inside the flat above the living room door in the passageway.

The consumer unit is to modern standards, however I could not locate any recent certificates.

It is not possible to fully assess the condition and safety of an electrical installation on the basis of a visual inspection only.

Distribution wiring is largely concealed and therefore date and quality of installation cannot be verified within in the scope of this inspection.

No evidence of broken, loose or damaged parts of the installation was seen, nor were any obvious amateur alterations or interventions noted.

The visual inspection has revealed that there are no obvious defects or deficiencies that could suggest that there might be problems with the electrical system of the main dwelling. Because of the specialised nature of the installation, we cannot advise whether it is safe and efficient. If you want to be sure, then a test should be arranged before a legal commitment to purchase is entered into. It is good practice to test a system at ten-year intervals and at a change of ownership.

I performed a general inspection of electrical items such as sockets, switches and light fixtures where access was available.

No testing of the installations or appliances was carried out other than operation in normal everyday use, such as operating light switches.

The NICEIC recommends that a PIR test be carried out at any change of ownership of the property.

A Periodic Inspection Report (PIR) should be requested or commissioned and produced by a qualified person.

The condition rating of "3" is compulsory for the surveyor and does not necessarily reflect that the electrical installation is faulty or dangerous.



Photo - 47



Photo - 48



Photo - 49

F2 Gas/oil

Safety warning: All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

The mains gas supply is located outside to the front of the building on the left hand side.

3

No significant defects were noted but see also recommendation in below with regard to a full test and inspection.

Gas Safe recommends that all gas appliances and boilers are inspected and serviced according to manufacturers' guidance, but at least once a year.

At the time of the survey, no documentation was seen to verify that an inspection or servicing has been carried out within the last 12 months.

The absence of a test certificate constitutes a hazard and necessitates the imposition of a

Condition 3 Rating.

The Gas Safe website called 'Buying a new home', it states:

'Homebuyers cannot always be sure when the gas appliances in their new home were last safety checked and serviced. Ask your vendor for an annual gas safety record which shows that a Gas Safe registered engineer has checked the gas appliances. If your vendor cannot supply an up to date annual gas safety record, you should get a Gas Safe registered engineer to check the gas appliances before you move in. This check should include the gas boiler, oven and hob.

The registered engineer will give the vendor a gas safety record, which they should handover to you before you move in.



Photo - 50

F3 Water

The visible parts of the system were checked for any obvious signs of leaking, damaged pipes, correct covering and insulation, and other evidence of defects.

1

Water taps were operated to check for flow and drainage.

The incoming mains pipework material could not be positively confirmed but internal sections that could be seen were found to be copper.

The flow of water at all outlets was found to be within a normal range.

No obvious issues were noted with this water installation system on the day of my inspection.

Water is provided by a mains connection, looking to the front pavement there is a small inspection chamber.



Photo - 51

F4 Heating

A full central heating system is installed with a gas-fired boiler supplying hot water to radiators throughout the property.

3

The gas boiler is located within a concealed box made of timber in the master bedroom next to the window. I could not physically identify or survey the boiler.

I was shown papers by the current leaseholder of the current boiler. Please speak to your legal advisor in regard to the boiler.

Located inside the concealed box is supposedly, a Valliant ecoTEC plus boiler.

The heating was turned on at the time of survey all the central heating is have TRVs and are working. I turned on the heating system using the thermostat in the passageway.

The NICEIC recommends that a PIR test be carried out at any change of ownership of the property to properly assess the safety and compliance level of all circuits and fittings.

A Periodic Inspection Report (PIR) should be requested or commissioned and produced by a qualified person.

I have given the heating a condition rating 3 because i did not physically inspect the boiler.



Photo - 52

F5 Water heating

Water heating is provided by the boiler, see section F4.

1

F6 Drainage

The property is understood to be connected to mains drainage. Your conveyancer should confirm this to be the case and advise the water authority to whom fees are payable in respect of sewerage.

1

There is an inspection chamber at the front of the property to the left hand side before entering the passage to the entrance door for the flat.

Internally, all taps were run and WC's flushed, and water was seen to be running clear from the internal services.



Photo - 53



Photo - 54

F7 Common services

N/A	NI
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G

Grounds (including shared areas for flats)

Grounds (including shared areas for flats)

Limitations on the inspection

We have not consulted any Geological or Ordnance Survey Maps and have been unable to establish any details as to the previous use of the site. We are unable to comment within the terms of this report, which is restricted in its scope, as to whether there are any hidden problems with the ground upon which the property is built, nor are we able to comment on the possibility or otherwise of the property being affected by any other matters. Your solicitors should check this aspect.

It should be noted that a full and detailed inspection for the presence of Japanese Knotweed cannot be carried out especially where the gardens are well stocked or have been recently cut and maintained.



G1 Garage

There are no known garages associated with this property.

NI

G2 Permanent outbuildings and other structures

There is a shed in the garden at the rear of the property. It is of temporary timber construction with an pitched roof covered in felt.

1

The shed was found to be in a stable condition.



Photo - 55



Photo - 56

G3 Other

The boundaries are defined by timber panel fencing.

1

There is no indication of the ownership of any of the boundary walls, fences or hedges, and in most cases this is not specified by the deeds or title documents. Often, responsibility for boundaries to

one side or another has been assumed by subsequent owners.

You should ask your conveyancer to advise on any indications of ownership included in the title documents.

The boundary fences and walls were found to be in a stable condition.

The grounds around the house were inspected for any indications of Japanese Knotweed. It should be noted that a full and detailed inspection for the presence of Japanese Knotweed cannot be carried out especially where the gardens are well stocked or have been recently cut and maintained. No evidence of the presence of Japanese Knotweed was seen during my inspection but you are advised to seek further advice if you believe it may be present or are aware that it is present in premises nearby.

H

Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.

Issues for your legal advisers

H1 Regulation

Building regulations are statutory instruments that seek to ensure that the policies set out in the relevant legislation are carried out. Building regulations approval is required for most building work in the UK. Building regulations that apply across England and Wales are set out in the Building Act 1984 while those that apply across Scotland are set out in the Building (Scotland) Act 2003. The Act in England and Wales permits detailed regulations to be made by the Secretary of State. The regulations made under the Act have been periodically updated, rewritten or consolidated, with the latest and current version being the Building Regulations 2010.

Your legal adviser should check if the correct approvals, including any necessary planning permission, listed building consent and building regulation approval and sign off (either by the local Building Control department or an Approved Inspector) for:

- the double storey rear extension
- conversion of the building to self-contained flats

H2 Guarantees

Your legal adviser should confirm which if any of the following have test certificates or service agreements in place:

- the central heating system, gas and the electrics.
- double glazed windows

I have been advised by the current leaseholder that a new roof with coverings was installed in 2021. Please speak to your legal adviser in regards to the roof re-installment works.

H3 Other matters

We believe the property is a leasehold. You should ask your legal adviser to confirm this and explain the implications.

Your solicitor should confirm the exact location and ownership of the boundaries, the drainage arrangements and your rights of access over the property as well as any responsibilities which go with it.

Speak to your legal adviser in regards to maintenance in other communal areas in the building.

Please speak to your legal adviser in regards to the conservation area and its implications.



Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition-rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.

Risks

I1 Risks to the building

There is evidence of penetrating damp in the living room to the right hand side of the windows. The penetrating damp is being caused by discontinued ivy plants on the external brickwork. The ivy plants should be removed to prevent further penetrating damp and long term affects to the wall.

I2 Risks to the grounds

We have not identified any risks to the grounds.

I3 Risks to people

We have not identified any risks to people.

I4 Other risks or hazards

We have not identified any other risks.

J

Surveyor's declaration

Surveyor's declaration

Surveyor's RICS number

0000000

Qualifications

MRICS, MCInstCES

Company

Surveying People

Address

Phone number

Email

Website

surveyingpeople.com

Property address

Client's name

Joe Bloggs

Date the report was produced

20th December 2022

I confirm that I have inspected the property and prepared this report.

Signature

K

What to do now

Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for;
- describe in writing exactly what you will want them to do; and
- get the contractors to put the quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.



Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

The service

The RICS Home Survey – Level 2 (survey only) service includes:

- a physical **inspection** of the property (see 'The inspection' below)
- a **report** based on the inspection (see 'The report' below) and

The surveyor who provides the RICS Home Survey – Level 2 (survey only) service aims to give you professional advice to help you to:

- make an informed decision on whether to go ahead with buying the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and significant visible defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although the surveyor does not move or lift insulation material, stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; plumbing, heating or drainage installations (or whether they meet current regulations); or the inside condition of any chimney, boiler or other flue.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are also treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally or externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase.

Dangerous materials, contamination and environmental issues

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within The Control of Asbestos Regulations 2012 ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report focuses on matters that, in the surveyor's opinion, may affect the value of the property if they are not addressed. The report objectively describes the condition of the elements and provides an assessment of the relative importance of the defects/problems. Although it is concise, the RICS Home Survey – Level 2 (survey) report does include advice about repairs or any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation should be made.

Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **R** – Documents we may suggest you request before you sign contracts.
- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.
- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 2 (survey only) service for the property. Where the EPC has not been made available by others, the most recent certificate will be obtained from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency and rating in this report. In addition, as part of the RICS Home Survey – Level 2 (survey only) service, checks are made for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

Issues for legal advisers

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises significant defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers. The RICS Home Survey – Level 2 (survey only) report will identify and list the risks, and explain the nature of these problems.

Standard terms of engagement

1 The service – The surveyor provides the standard RICS Home Survey – Level 2 (survey only) service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- costing of repairs
- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports and
- market valuation and reinstatement costs

2 The surveyor – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property.

3 Before the inspection – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

4 Terms of payment – You agree to pay the surveyor's fee and any other charges agreed in writing.

5 Cancelling this contract – You should seek advice on your obligations under The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 ('the Regulations') and/or the Consumer Rights Act 2015, in accordance with section 2.6 of the current edition of the Home survey standard RICS professional statement.

6 Liability – The report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor.

This report is for use in the UK.

Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

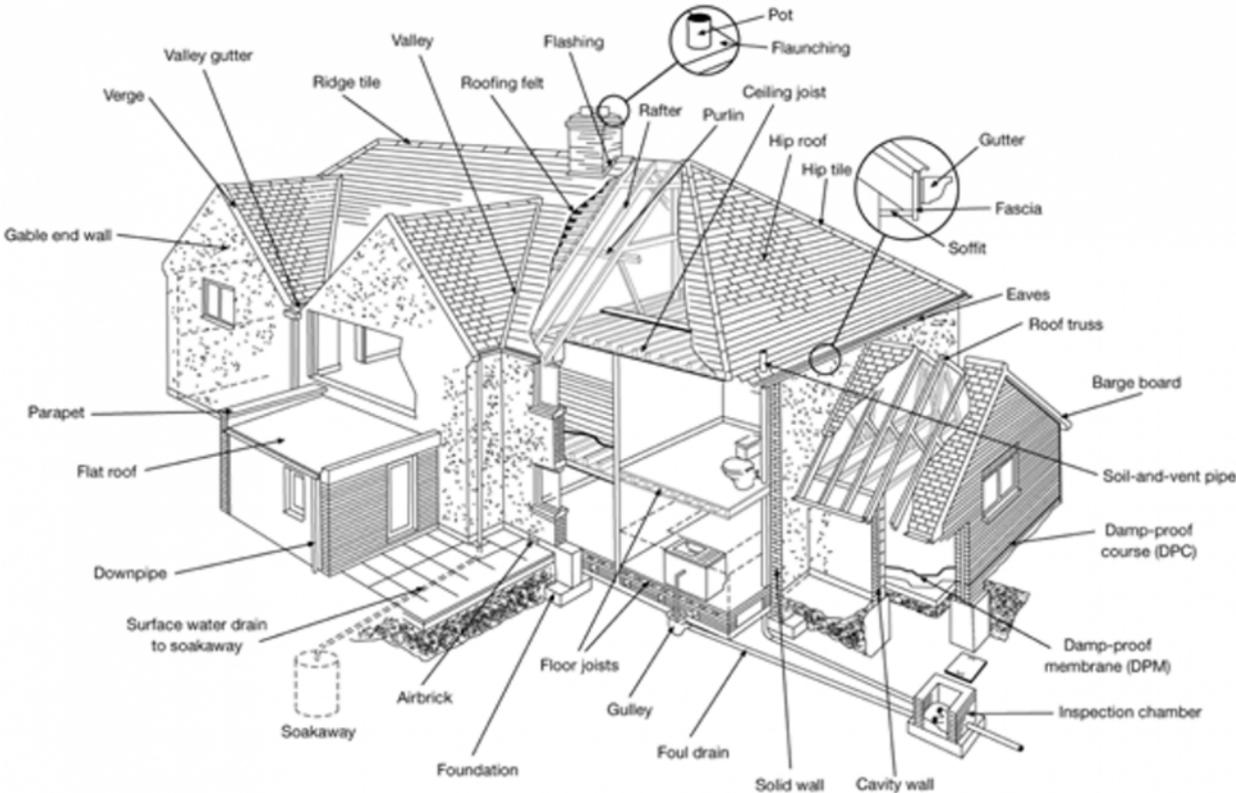
M

Typical house diagram

M

Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



RICS disclaimer

You should know...

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